

853/26

L.00759/2026



पश्चिम बंगाल WEST BENGAL

AW 489651

Certified that the document is admitted to registration. The Signature sheet/s and the endorsement sheet/s attached with this documents are part of this document.

Addl. Dist. Sub-Registrar
Alipore, South 24 Parganas
22 APR 2026

-:: SUPPLEMENTARY DEVELOPMENT POWER OF ATTORNEY:-

(AFTER REGISTERED DEVELOPMENT POWER OF ATTORNEY)

KNOW ALL MEN BY THESE PRESENTS that we,

- (1) SRI SWAPAN DEY, (PAN-FNRPD0261D, Aadhaar No. 2478 2263 7862), son of Late Rashu Chandra Dey, by faith – Hindu, by Nationality – Indian, by occupation – Service, residing at 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, (2) SRI TAPAN DEY, (PAN-FCMPD4360R, Aadhaar No. 8864

6533

21/4/2026

S. No. Date

Sold to..... Shambhu K Das Sam

At..... 37 1/2 Bani Damodar Pur

Rupees..... 100/-

6-31


Samiran Das
Stamp Vendor
Alipore Police Court
South 24 Pgs., Kol-27

Documents are not of this document.
the registration is effected with this
to registration. The signature sheets and
Certified that the document is admitted

Adl. Dist. Sub-Registrar
Alipore, South 24 Parganas
22 APR 2026



Identified by

Ajay Kumar Sen
DAR



S/o Late Bijay Chandra Sen

Alipore Police Court

Kol-27

-:: (2) ::-

9688 7180), son of Late Rashu Chandra Dey, by faith – Hindu, by Nationality – Indian, by occupation – Retired, residing at 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, hereinafter jointly called the “**PRINCIPALS**” do hereby **SEND GREETINGS:-**

WHEREAS a Saf Bikray Kobala Deed being dated 12/01/1968 registered at A.D.S.R. Alipore office and entered in Book No. I, Volume No. 3, Pages from 240 to 244, Deed No. 208, for the year 1968, Smt. Subhasini Dey, wife of Late Rashu Chandra Dey of 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, became the sole and absolute owner of land measuring more or less 2 Cottahs 7 Chattacks 26 Sq.ft. lying and situated at Mouza, - Raipur, J.L. No. - 33, Pargana - Khaspur, Touzi No. 56, comprising in C.S. Dag No. 1074, under C.S. Khatian No. 237, within the limits of the Kolkata Municipal Corporation, being Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100, which was purchased from the previous owners Sukran Bibi and Ralbani Ustanagar and others.

AND WHEREAS by virtue of the said Saf Bikray Kobala Deed, said **Subhasini Dey** became the sole and absolute owner of the land

-:: (3) ::-

and thereafter constructed a residential house on the said plot of land and mutated her name in the records of Assessment Registered Book of K.M.C. The said property is now recorded as K.M.C. Premises 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100 and had been enjoying the said property by paying taxes to the authority of K.M.C.

AND WHEREAS after purchasing the said land together with dwelling house said **Subhasini Dey** adjacent plot holder made a road for smooth walking from road to their own property and after physical measurement said Subhasini Dey got her land measuring more or less 2 Cottahs 1 Chattack 14 Sq.ft. and thereafter for residential purpose said Subhasini Dey constructed a dwelling house with asbestos shed and mutated her name in the records of Assessment Registered Book of K.M.C. The said property is now recorded as K.M.C. Premises 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100 being Assessee No. 211000900982 and had been enjoying the said property by paying taxes to the authority of K.M.C.

-:: (4) ::-

AND WHEREAS said Subhasini Dey while had been enjoying the said property out of love and affection Gifted the entire property unto and in favour of her two sons namely (1) **SRI SWAPAN DEY**, son of Rashu Chandra Dey, (2) **SRI TAPAN DEY**, son of Rashu Chandra Dey, by way of a registered Deed of Gift which was registered in the office of Additonal District Sub Registrar at Alipore and recorded in Book No. I, Volume No. 1605-2021, Pages from 32652 to 32674, being No. 160500669. for the year 2021.

AND WHEREAS by virtue of a Deed of Gift said (1) **SRI SWAPAN DEY**, son of Rashu Chandra Dey, (2) **SRI TAPAN DEY**, son of Rashu Chandra Dey, both are the joint owners of the above mentioned property and seized and possessed of well and sufficiently entitled the said property and have been jointly enjoying the same.

AND WHEREAS by virtue of the Saf Bikray Kobala Deed being registered at A.D.S.R. Alipore office and entered in Book No. I, Volume No. 48, Pages from 278 to 284, Deed No. 4133, for the year 1962, Rashu Chandra Dey, the husband of Smt. Subhasini Dey and the father of Sri Tapan Dey and Swapan Dey and Supriya Biswas (Dey), wife of Late Ajay

-:: (5) ::-

Biswas, became the sole and absolute owner of land measuring more or less 2 Cottahs 8 Chattacks lying and situated at Mouza - Raipur, J.L. No. - 33, Pargana - Khaspur, Touzi No. 56, comprising in C.S. Dag No. 1074, under C.S. Khatian No. 237, within the limits of the Kolkata Municipal Corporation, being Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100.

AND WHEREAS by virtue of the said Saf Bikray Kobala Deed, said **Rashu Chandra Dey** became the sole and absolute owner of the land and thereafter constructed a residential house on the said plot of land and mutated his name in the records of Assessment Registered Book of K.M.C. The said property is now recorded as K.M.C. Premises 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100, being Assessee No. 211000900994 and had been enjoying the said property by paying taxes to the authority of K.M.C.

AND WHEREAS said Rashu Chandra Dey while had been enjoying the said property died intestate on 22/11/2006 leaving behind his widow

-:: (6) ::-

Smt. Subhasini Dey and two sons Sri Tapan Dey and Swapan Dey and one daughter Supriya Biswas (Dey), wife of Late Ajay Biswas, as his only legal heirs and successors.

AND WHEREAS the said legal heirs of said Rashu Chandra Dey became the joint owners of the said property know and recorded as Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100 and the said property is free from all encumbrances.

AND WHEREAS thereafter said Smt. Subhasini Dey and Supriya Biswas (Dey), wife of Late Ajay Biswas, out of love of affection gifted their 1/2 share of the land measuring 1 Cottah 3 Chatacks 18 Sq.ft. together with 1/2 share structure measuring 200 Sq.ft. out of total undivided land measuring 2 Cottahs 6 Chatacks 36 Sq.ft. together with 400 Sq.ft. kuncha Structure, lying at Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100 unto and in favour of (1) **SRI SWAPAN DEY**, son of Rashu Chandra Dey, (2) **SRI TAPAN DEY**, son of Rashu Chandra Dey, which was registered in the office of Additonal District Sub Registrar

at Alipore and recorded in Book No. I, Volume No. 1605-2021, Pages from 3328 to 33315, being No. 160500723, for the year 2021.

AND WHEREAS by virtue of two separate Deed of Gift (1) **SRI SWAPAN DEY**, son of Rashu Chandra Dey, (2) **SRI TAPAN DEY**, son of Rashu Chandra Dey are the joint owners of the above mentioned undivided land measuring 4 Cottah 8 Chattacks 5 Sq.ft. together with kuncha structure more or less 400 Sq.ft. lying and situate at the Kolkata Municipal Corporation being two separate Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, and the Kolkata Municipal Corporation Premises No. 23/1-H/2, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100 of the K.M.C. and physical enjoyment in respect of the said property free from all encumbrances.

AND WHEREAS the Owners herein for better enjoyment and to develop the said land of the two premises amalgamated the said two plots of land into a single Premises in the record of the Assessment register Book of K.M.C. and recorded as Premises No. 23/1-H/1, Raipur Mondal

Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100, being Assessee No. 211000900994.

AND WHEREAS we have entered into an Agreement for Development of our said premises No. 23/1-H/1 Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047 with '**M/S. SHIVCON**', PAN-ADZFS6294C, a partnership firm, having its office at 39B, Beni Banerjee Avenue, P.S. - Garfa, Kolkata - 700031, represented by its partners namely (1) **SRI RANADEV MAJUMDER**, (Aadhaar No. 6438 2078 3337, PAN-AYFPM8636D & Mobile No. 9830911213), son of Late Jatindra Mohan Majumder, by faith - Hindu, by occupation - Business, by Nationality - Indian, residing at 4/110B, Vidyasagar Colony, P.S. - Netaji Nagar, Kolkata - 700047, (2) **SRI SHAMBHU KUMAR DAS**, (Aadhaar No. 6718 1405 7293, PAN-AHPPD8741H & Mobile No. 9830157090), son of Late Sachindra Nath Das, by faith - Hindu, by occupation - Business, by Nationality - Indian, residing at 37/2, Beni Banerjee Avenue, P.S. - Garfa, Kolkata - 700031 and said Development Agreement has been registered in the office of the District Sub-Registrar-I at Alipore and recorded in Book No. I, Volume No. 1601-2021, Pages from 164094 to 164146, being No. 160103114, for

the year 2021 and Development Power of Attorney which was duly registered in the office of District Sub-Registrar-I at Alipore and recorded in Book No. I, Volume No. 1601-2021, Pages from 164842 to 164881 being No. 160103120, for the year 2021 and on the ...22/04/2026, the said Supplementary Agreement has been registered in the office of the District Sub-Registrar at Alipore and has been recorded in Book No. I, Volume No. 1601-2026, being No. 160500754....., for the year 2026.

AND WHEREAS Supplementary Development Power of Attorney is being executed to give effect to the said Supplementary Development Agreement without altering the original rights and allocation of the parties.

AND WHEREAS we, the Principals hereby do hereby appoint, nominate and constitute '**M/S. SHIVCON**', PAN-ADZFS6294C, a partnership firm, having its office at 39B, Beni Banerjee Avenue, P.S. - Garfa, Kolkata - 700031, represented by its partners namely (1) **SRI RANADEV MAJUMDER**, (Aadhaar No. 6438 2078 3337 & PAN-AYFPM8636D), son of Late Jatindra Mohan Majumder, by faith - Hindu, by occupation - Business, by Nationality - Indian, residing at 4/110B, Vidyasagar Colony, P.S. - Netaji Nagar, Kolkata - 700047 and (2) **SRI**

SHAMBHU KUMAR DAS, (Aadhaar No. 6718 1405 7293 & PAN-AHPPD8741H), son of Late Sachindra Nath Das, by faith - Hindu, by occupation - Business, by Nationality - Indian, residing at 37/2, Beni Banerjee Avenue, P.S. - Garfa, Kolkata - 700031, the Developers, as our true and lawful attorneys in our names and on our behalf in respect of **ALL THAT** piece and parcel of Bastu land measuring 4 Cottah 8 Chattacks 5 Sq.ft. together with kuncha structure more or less 400 Sq.ft. lying and situated at Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100 of the K.M.C. in the District 24 Parganas (now South 24 Parganas) to do and execute or cause to be done and executed all or any of the following deeds, acts and things hereinafter stated that is to say:-

1. To work, manage, control and supervise the management of all and administration of the Schedule below property and to develop the said property morefully described in the Schedule below by whatsoever manner or way on our behalf.
2. To appoint Engineers, Architects and agent or agents and sub-contractor or sub-contractors as the said Attorney shall think fit and

-:: (11) ::-

proper and to make all payment of their fees and charges of Architects, Engineers and their agent or agents and/or sub-Contractors, for and on our behalf.

3. That the Attorney herein shall always be able to sign, execute, issue and deliver all affidavits, indemnity bonds, undertaking, sale agreement or deed of Declarations or such other deeds or documents or papers or writings of whatsoever manner or nature that is required to be done by the K.M.C. Authority or any other authorities of whatsoever manner or nature and at the same time the Attorney herein shall always be able to register the aforesaid document before all the registering authority and shall be able to present for registration and admit execution of the same before the registering authority.
4. To deposit any fees and charges or any other amount which may have to be paid to the K.M.C. and any other authorities before starting and/or while in course of construction of the building of the said premises mentioned in the schedule property written hereunder and/or in any such period of time also.

5. To apply for and to obtain permanent connection of filtered and unfiltered water, electricity, drainage, sewerage and/or other inputs and facilities required from the appropriate body or bodies and/or authority or authorities.
6. To Submit any petition/petitions to the police station and also lodges diary to the police station and to appear before any court to defend any case as and when required and to sign in all relevant papers and documents, vokalatnama, petition or petitions on our behalf in respect of the schedule mentioned property.
7. That the Attorney herein shall be able to avail necessary permission or permission of whatsoever manner or nature from the Road Department of the KMC for and on our behalf.
8. To construct, supervise the construction of the multi storied building and/or structure of whatsoever manner or nature according to the building plan approved by the Owners/Principals at the Kolkata Municipal Corporation being Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur

now Netajinagar, Kolkata - 700047, and Premises No. 23/1-H/2, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, under Ward No. 100 of the K.M.C., in the District 24 Parganas (now South 24 Parganas) by demolishing old structure of the said premises and to construct the multi storied building in the said premises as per building plan approved by the owners.

9. To file and defend any or all suits, cases, appeals, complaints and applications of whatsoever manner or nature for and on our behalf that is to be instituted and/or preferred against us in respect of the said premises which is morefully described in the schedule below and also to present and prosecute writ application or petitions in respect thereof in any court of law. To appear, file and defend any case or cases of whatsoever manner or nature before any Judicial authority and/or Chief Judicial authority in respect of the schedule below property and premises.
10. To sign and verify all plaints, written statements, petitions, objections, cross objections, claims, counter claims, applications for executions,

-:: (14) ::-

revisions, review new trial or stay of whatsoever manner or nature, Memorandum of appeal and generally to do all other acts, deeds and things for and on our behalf as the said Attorney in his absolute discretion shall think fit and proper on our behalf.

11. To take steps in all suits appeals, cases and/or any other legal proceedings in any court of law, tribunal authority of whatsoever manner or nature and to sign and verify all applications and sole name thereof for and on our behalf.
12. To sign, and receive any registered or registered with A/D letter and/or articles and/or any other documents of whatsoever manner or nature in respect of the said premises and property mentioned in the schedule below and to grant proper and effectual receipt or receipts in respect thereof.
13. To represent us in all the dealings and negotiations and for execution of agreement of whatsoever manner or nature, agreement for sale with the intending buyers of the Developers' Allocation in the said premises or the schedule below property save and except the Owners'

-:: (15) ::-

Allocation according to the terms and conditions of the Development Agreement dated 18/11/2021 which is duly registered in the office of A.D.S.R. Alipore, South 24 Parganas, vide Book. No. I, Deed No. 160103114, for the year 2021 and to that effect to sign, present, execute and deliver the contracts, agreements in favour of the intending purchaser or purchasers by the Attorneys herein at their sole discretion in respect of the Developers' Allocation save and except the Owners' Allocation according to the terms and conditions of the Development Agreement and the said Attorney in respect thereof shall be able to sign, issue, receive and acknowledge the necessary consideration or considerations and to issue necessary effectual receipt or receipts thereof. Moreover the Attorney in all circumstances shall be able to appear before the registrar or Sub-Registrar or District Registrar or Registrar of Assurances or any other authority or authorities having the necessary jurisdiction in that behalf and thereof to present for registration and to registrar and admit execution thereof in respect of the agreement for sale, in respect of the Developer's Allocation for and on our behalf as the said Attorney in their absolute discretion shall think fit and proper to fulfil our interest in all respect.

OWNERS' ALLOCATION :- After completion of the said Three storied Building by the Developer, the Owners shall be entitled to retain their allocation in new Building out of 50% of the total area of the construction in each floor as detailed hereunder:-

- (1) The Owners shall get complete residential flat, on the Ground Floor, North side, built up area.
 - (2) The Owners shall get One complete residential flat, on the First Floor, North side, built up area and another One complete residential flat, on the First Floor, East side.
 - (3) The Owners shall get complete residential flat; on the Second Floor, South side, built up area AND Car Parking Space, on the Ground Floor of the building, together with undivided proportionate share of the land along with all other common areas and facilities of the proposed straight Three storied building of the said premises.
14. To make payment of all rates and taxes and other outgoing in respect of the said premises mentioned in the schedule below and/or buildings to be constructed thereon.

-:: (17) ::-

15. This power of Attorney shall remain restricted till completion and disposal of Developers' share of the proposed multi storied building and also to the said premises building and/or building plans etc.
16. To sign, present, execute, deliver, issue and receive all papers, documents, writings, undertakings, representations and letters etc. of whatsoever manner or nature so as to deal and/or negotiate and/or to settle all matters etc. in respect of the part or whole of the said premises and/or the property mentioned in the Schedule below for and on our behalf in all occasions.
17. That the Attorney shall at all period of time be able to receive any amount of consideration from the intending purchaser or purchasers and/or party or parties thereof for selling developer's allotted portion. Be it mentioned that the Attorney shall in all occasions be able to receive any amount of consideration in part or in full by cash or Cheques and/or as being paid by the party or parties and/or purchaser or purchasers of the Developers' allocation on its own capacity and shall also be able to issue proper and effectual, receipt or receipts therefore.

-:: (18) ::-

18. That the Attorney herein shall always be able to exercise the necessary power or powers conferred on them by virtue of this instrument at all occasions and period of time.
19. To receive any money in cash or by cheque or draft against agreement for sale from the intending purchaser or purchasers in respect of the developers' allocation only of the proposed building.
20. To engage, appoint, technical persons/experts contractors and architect for erection or supervision and maintenance of the said proposed building of the said premises.
21. To appoint or engage pleaders, advocates or solicitors if required in connection with the schedule below property and to file petition/petitions in respective court of law and offices and to receive back the document from any court or Government offices in connection with my schedule below property as and when required on our behalf and in our names.
22. To pay all taxes of K.M.C. and charges in respect of the said premises on our behalf and in our names as and when the same will become due and payable and to obtain proper receipts in respect thereof.

23. Only after delivering possession of the owners' allocation to us as per terms of the said Development Agreement dated 18/11/2021 our Attorney shall have power to deliver possession and execute Deed of Conveyance/s in respect of Developers' allocation of the proposed building.

AND GENERALLY to do all acts, deeds and things as will be necessary for implementing the said agreement and for raising and completing the construction of the multi storied building on the land of the said premises AND we hereby confirm and ratify and do agree and undertake to ratify and confirm all the said acts, deeds and things that shall be done by our constituted Attorney as our own acts, deeds and things as if we were personally present and doing the same.

We DO HEREBY agree and undertake to ratify and confirm all and whatsoever our said Attorney under this power in that behalf hereinbefore in exercise of the power, authorities and liberties hereby conferred upon under and by virtue of this Power.

THE SCHEDULE - "A" ABOVE REFERRED TO:

ALL THAT piece and parcel of Bastu land measuring 4 Cottah 8 Chattacks 5 Sq.ft. together with kuncha structure more or less 400 Sq.ft. having cemented floor, lying and situate at Premises No. 23/1-H/1, Raipur Mondal Para Road, P.O. - Naktala, P.S. - formerly Jadavpur now Netajinagar, Kolkata - 700047, in Mouza - Raipur, J.L. No. - 33, Pargana - Khaspur, Touzi No. 56, comprising in C.S. Dag No. 1074, under C.S. Khatian No. 237, under Ward No. 100 of the K.M.C., being Assessee No. 211000900994, in the District 24 Parganas (now South 24 Parganas) along with use all easement right which is butted and bounded as follows :-

ON THE NORTH : 23/1/C/2, Raipur Mondal Para Road, Kolkata - 700047.

ON THE SOUTH : 21/1B/3, Raipur Mondal Para Road, Kolkata - 700047.

ON THE EAST : 23/6, Naktala Lane, 23/5/3/1, D.P.P. Road, 4/114, Vidyasagar Colony, Kolkata - 700047.

ON THE WEST : 8'-0" ft. wide Road and 15'-0" ft. wide Road.

**THE SCHEDULE - 'B' OF THE PROPERTY
ABOVE REFERRED TO
(OWNERS' ALLOCATION)**

The Owners Shall get 50% of the total sanction FAR as to be sanctioned by the authority of the Kolkata Municipal Corporation out of 50% of the total sanction FAR, the Owners shall get One Flat, North side, on the Ground Floor, and Two Flats on the First Floor (one flat on the North side and another flat on the East side) and One Flat, South side, on the Top Floor of the proposed building along with One Car Parking Space on the Ground Floor of the building as per sanction building plan together with undivided proportionate share of the land along with all other common areas and facilities of the proposed Building of the said premises.

**SCHEDULE- 'C' OF THE PROPERTY
ABOVE REFERRED TO
(DEVELOPERS ALLOCATION)**

The Developers shall get 50% of the total sanction FAR as to be sanctioned by the authority of the Kolkata Municipal Corporation out of 50% of the total sanction FAR, the Developers shall get One Flat, East side, on the Ground Floor, and One Flat on the First Floor, South side and Two Flats (one flat on the North side and another flat on the East side) on the Top Floor of the proposed building along with One Car Parking Space, on the Ground Floor as per sanction building plan together with undivided proportionate share of the land along with all other common areas and facilities of the proposed Building of the said premises.

IN WITNESS WHEREOF we, the above named Principals and the Attorneys have hereunto set and subscribed our respective hands and seals on the 22nd day of April 2026.

In presence of

WITNESSES:

1. Swapan Kumar Majumder.
4/110 B, Vidyagar Colony. ✓ Swapan Dey
Naktala, Kolkata - 700047.
2. Ajay Kumar Sen ✓ Tapan Dey
3/188 Vidyagar Colony
P.S. Medinipur
Kolkata - 42

SIGNATURE OF THE PRINCIPALS

We accept this Power

Drafted by me,

Ajay Kumar Sen
Advocate
Alipore Police Court
Kolkata - 700027.

Shambhu K Das For SHIV CON
Rande Majumder Partner

SIGNATURE OF THE ATTORNEYS

Computer Print by

Biswajit Karmakar
Alipore Police Court
Kolkata - 700027.

Enrollment No = F726/768 of 1981



	Thumb	1 st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name Swapan Dey

Signature Swapan Dey



	Thumb	1 st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name Tapan Dey

Signature Tapan Dey



	Thumb	1 st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name SHAMBU KR DAS

Signature Shambhu KR Das

	Thumb	1 st finger	Middle Finger	Ring Finger	Small Finger
left hand					
right hand					

Name RANADEV MAJUMDER

Signature Ranadev Majumder

Major Information of the Deed

Deed No :	I-1605-00759/2026	Date of Registration	22/04/2026
Query No / Year	1605-8001041814/2026	Office where deed is registered	
Query Date	22/04/2026 12:53:35 PM	A.D.S.R. ALIPORE, District: South 24-Parganas	
Applicant Name, Address & Other Details	AJOY KUMAR SEN Thana : Alipore, District : South 24-Parganas, WEST BENGAL, Mobile No. : 8331308534, Status :Advocate		
Transaction	Additional Transaction		
[0138] Sale, Development Power of Attorney after Registered Development Agreement	[4308] Other than Immovable Property, Agreement [No of Agreement : 2]		
Set Forth value	Market Value		
Rs. 2/-	Rs. 58,66,078/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 100/- (Article:48(g))	Rs. 600/- (Article:E, E)		
Remarks	Development Power of Attorney after Registered Development Agreement of [Deed No/Year]:- 160500754/2026 Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :

District: South 24-Parganas, P.S:- Jadavpur, Corporation: KOLKATA MUNICIPAL CORPORATION, Road: Raipur Mondal Para Road, , Premises No: 23/1-H/1, , Ward No: 100 Pin Code : 700047

Sch No	Plot Number	Khatian Number	Land Use Proposed ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1			Bastu	4 Katha 8 Chatak 5 Sq Ft	1/-	55,66,078/-	Width of Approach Road: 15 Ft., , Project Name :
Grand Total :				7.4365Dec	1 /-	55,66,078 /-	

Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	400 Sq Ft.	1/-	3,00,000/-	Structure Type: Structure
Gr. Floor, Area of floor : 400 Sq Ft.,Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete					
Total :		400 sq ft	1 /-	3,00,000 /-	

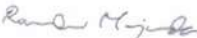
Principal Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name Mr SWAPAN DEY Son of Mr RASHU CHANDRA DEY Executed by: Self, Date of Execution: 22/04/2026 , Admitted by: Self, Date of Admission: 22/04/2026 ,Place : Office	Photo  22/04/2026	Finger Print  Captured LTI 22/04/2026	Signature  22/04/2026
23/1-H/1, RAIPUR MONDAL PARA ROAD, City:- Kolkata, P.O:- Naktala, P.S:-Jadavpur, District:- South 24-Parganas, West Bengal, India, PIN:- 700047 Sex: Male, By Caste: Hindu, Occupation: Service, Citizen of: India , PAN No.: FNxxxxxx1D,Aadhaar No Not Provided, Status :Individual, Executed by: Self, Date of Execution: 22/04/2026 , Admitted by: Self, Date of Admission: 22/04/2026 ,Place : Office				
2	Name Mr TAPAN DEY Son of Mr RASHU CHANDRA DEY Executed by: Self, Date of Execution: 22/04/2026 , Admitted by: Self, Date of Admission: 22/04/2026 ,Place : Office	Photo  22/04/2026	Finger Print  Captured LTI 22/04/2026	Signature  22/04/2026
23/1-H/1, RAIPUR MONDAL PARA ROAD, City:- Kolkata, P.O:- NAKTALA, P.S:-Jadavpur, District:- South 24-Parganas, West Bengal, India, PIN:- 700047 Sex: Male, By Caste: Hindu, Occupation: Retired Person, Citizen of: India , PAN No.: FCxxxxxx0R,Aadhaar No Not Provided, Status :Individual, Executed by: Self, Date of Execution: 22/04/2026 , Admitted by: Self, Date of Admission: 22/04/2026 ,Place : Office				

Attorney Details :

Sl No	Name,Address,Photo,Finger print and Signature
1	SHIVCON 39B, BENI BANERJEE AVENUE, City:- Kolkata, P.O:- GARFA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700031 , PAN No.: adxxxxxx4c,Aadhaar No Not Provided, Status :Organization, Executed by: Representative

Representative Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name Mr SHAMBHU KUMAR DAS Son of Late SACHINDRA NATH DAS Date of Execution - 22/04/2026, , Admitted by: Self, Date of Admission: 22/04/2026, Place of Admission of Execution: Office	 Apr 22 2026 1:15PM	 LTI 22/04/2026	 22/04/2026
	37/2, BENI BANERJEE AVENUE, City:- Kolkata, P.O:- GARFA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700031, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AHxxxxxx1H,Aadhaar No Not Provided Status : Representative, Representative of : SHIVCON (as PARTNER)			
2	Name Mr RANADEV MAJUMDER (Presentant) Son of Late JATINDRA MOHAN MAJUMDER Date of Execution - 22/04/2026, , Admitted by: Self, Date of Admission: 22/04/2026, Place of Admission of Execution: Office	 Apr 22 2026 1:16PM	 LTI 22/04/2026	 22/04/2026
	4/110B, VIDYASAGAR COLONY, City:- Kolkata, P.O:- NAKTALA, P.S:-Jadavpur, District:-South 24-Parganas, West Bengal, India, PIN:- 700047, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AYxxxxxx6D,Aadhaar No Not Provided Status : Representative, Representative of : SHIVCON (as PARTNER)			

Identifier Details :

Name	Photo	Finger Print	Signature
Mr AJOY KUMAR SEN Son of Late BIJOY CHANDRA SEN ALIPORE POLICE COURT, City:- , P.O:- ALIPORE, P.S:-Alipore, District:-South 24-Parganas, West Bengal, India, PIN:- 700027	 22/04/2026	 22/04/2026	 22/04/2026
Identifier Of Mr SWAPAN DEY, Mr TAPAN DEY, Mr SHAMBHU KUMAR DAS, Mr RANADEV MAJUMDER			

Transfer of property for L1		
Sl.No	From	To. with area (Name-Area)
1	Mr SWAPAN DEY	SHIVCON-3.71823 Dec
2	Mr TAPAN DEY	SHIVCON-3.71823 Dec
Transfer of property for S1		
Sl.No	From	To. with area (Name-Area)
1	Mr SWAPAN DEY	SHIVCON-200.00000000 Sq Ft
2	Mr TAPAN DEY	SHIVCON-200.00000000 Sq Ft

Endorsement For Deed Number : I - 160500759 / 2026

On 22-04-2026

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 13:13 hrs on 22-04-2026, at the Office of the A.D.S.R. ALIPORE by Mr RANADEV MAJUMDER .

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 58,66,078/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 22/04/2026 by 1. Mr SWAPAN DEY, Son of Mr RASHU CHANDRA DEY, 23/1-H/1, RAIPUR MONDAL PARA ROAD, P.O: Naktala, Thana: Jadavpur, , City/Town: KOLKATA, South 24-Parganas, WEST BENGAL, India, PIN - 700047, by caste Hindu, by Profession Service, 2. Mr TAPAN DEY, Son of Mr RASHU CHANDRA DEY, 23/1-H/1, RAIPUR MONDAL PARA ROAD, P.O: NAKTALA, Thana: Jadavpur, , City/Town: KOLKATA, South 24-Parganas, WEST BENGAL, India, PIN - 700047, by caste Hindu, by Profession Retired Person

Identified by Mr AJOY KUMAR SEN, , Son of Late BIJOY CHANDRA SEN, ALIPORE POLICE COURT, P.O: ALIPORE, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Advocate

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 22-04-2026 by Mr SHAMBHU KUMAR DAS, PARTNER, SHIVCON, 39B, BENI BANERJEE AVENUE, City:- Kolkata, P.O:- GARFA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700031

Identified by Mr AJOY KUMAR SEN, , Son of Late BIJOY CHANDRA SEN, ALIPORE POLICE COURT, P.O: ALIPORE, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Advocate

Execution is admitted on 22-04-2026 by Mr RANADEV MAJUMDER, PARTNER, SHIVCON, 39B, BENI BANERJEE AVENUE, City:- Kolkata, P.O:- GARFA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700031

Identified by Mr AJOY KUMAR SEN, , Son of Late BIJOY CHANDRA SEN, ALIPORE POLICE COURT, P.O: ALIPORE, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Advocate

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 600.00/- (E = Rs 600.00/-) and Registration Fees paid by , by Cash Rs 600.00/-

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 70/- and Stamp Duty paid by , by Stamp Rs 100.00/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 6543, Amount: Rs.100.00/-, Date of Purchase: 21/04/2026, Vendor name: Samiran Das



Debjit Roy

**ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. ALIPORE
South 24-Parganas, West Bengal**

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1605-2026, Page from 32361 to 32390
being No 160500759 for the year 2026.



Digitally signed by DEBJIT ROY
Date: 2026.05.05 14:15:54 +05:30
Reason: Digital Signing of Deed.

(Debjit Roy) 05/05/2026

ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. ALIPORE
West Bengal.